

B.52 P.29

# CONDOMINIUM EXEMPTION PLAT OF: SNYDER PARK CONDOMINIUMS

PARCEL A, SNYDER PARK SUBDIVISION/P.U.D. SITUATED IN A PORTION OF SECTION 18, TOWNSHIP 10 SOUTH, RANGE 84 WEST OF THE 6th P.M.  
CITY OF ASPEN, COUNTY OF PITKIN, STATE OF COLORADO  
SHEET 1 OF 12

### CERTIFICATE OF OWNERSHIP AND DEDICATION

I, Mark S. Becker, being the undersigned, being the owner in fee simple of Parcel A, Snyder Park Subdivision/P.U.D., City of Aspen, Colorado, according to the final plat thereof recorded November 19, 1998 in Plat Book 47 at Page 78 in the office of the Clerk and Recorder of Pitkin County, Colorado, which Parcel A is improved with seven (7) wood frame buildings containing fifteen (15) units, half by these presents, and certain appurtenant common elements, as shown and noted hereon, pursuant to and for the purposes stated in the condominium declaration for the Snyder Park Condominiums recorded in the office of the Clerk and Recorder of Pitkin County, Colorado.

AND DO FURTHER STATE AND DECLARE THAT THE PRESENTLY EFFECTING THE SUBJECT PROPERTY AS SHOWN ON THE SNYDER PARK SUBDIVISION/P.U.D. IS VICINATED BY THIS PLAT AND RELIANCE AS SHOWN HEREON.

EXECUTED THIS 22 DAY OF June, 2000.

BY: Mark S. Becker

TITLE: Aspen

STATE OF COLORADO

COUNTY OF PITKIN

THE FOREGOING CERTIFICATE WAS ACKNOWLEDGED BEFORE ME THIS 20th DAY OF June, 2000, BY Mark S. Becker, TITLE Aspen.

WITNESS MY HAND AND OFFICIAL SEAL, MY COMMISSION EXPIRES: 1/17/2003

Mark S. Becker  
NOTARY PUBLIC

### TITLE COMPANY CERTIFICATE

THE UNDERSIGNED, A DULY AUTHORIZED REPRESENTATIVE OF A CORPORATE TITLE INSURANCE REGISTERED TO DO BUSINESS IN PITKIN COUNTY, COLORADO, DOES HEREBY CERTIFY, PURSUANT TO SECTION 10-11 (1) OF THE ASPEN MUNICIPAL CODE, THAT THE PERSON(S) LISTED AS OWNER(S) ON THIS PLAT DO HOLD FEE SIMPLE TITLE TO ALL LIENS AND ENCUMBRANCES EXCEPT AS FOLLOWS:

TITLE COMPANY

BY: Mark S. Becker

ADDRESS: 1000 Main Street, Suite 100, Aspen, CO 81602

STATE OF COLORADO

COUNTY OF PITKIN

THE FOREGOING CERTIFICATE WAS ACKNOWLEDGED BEFORE ME THIS 21 DAY OF June, 2000, BY Mark S. Becker AS Aspen.

WITNESS MY HAND AND OFFICIAL SEAL, MY COMMISSION EXPIRES: 1/17/2003

Mark S. Becker  
NOTARY PUBLIC

### DEPARTMENT OF COMMUNITY DEVELOPMENT APPROVAL

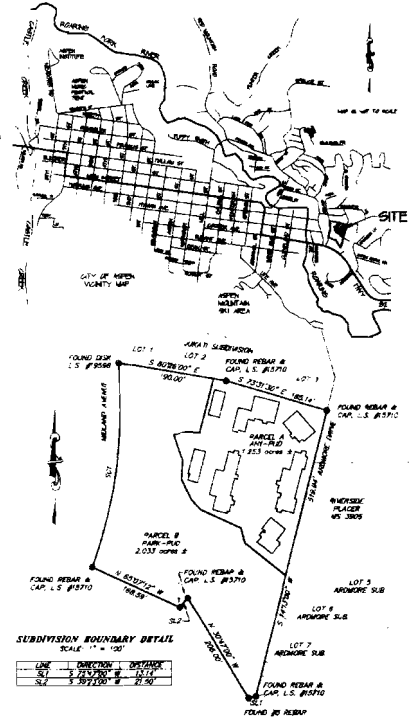
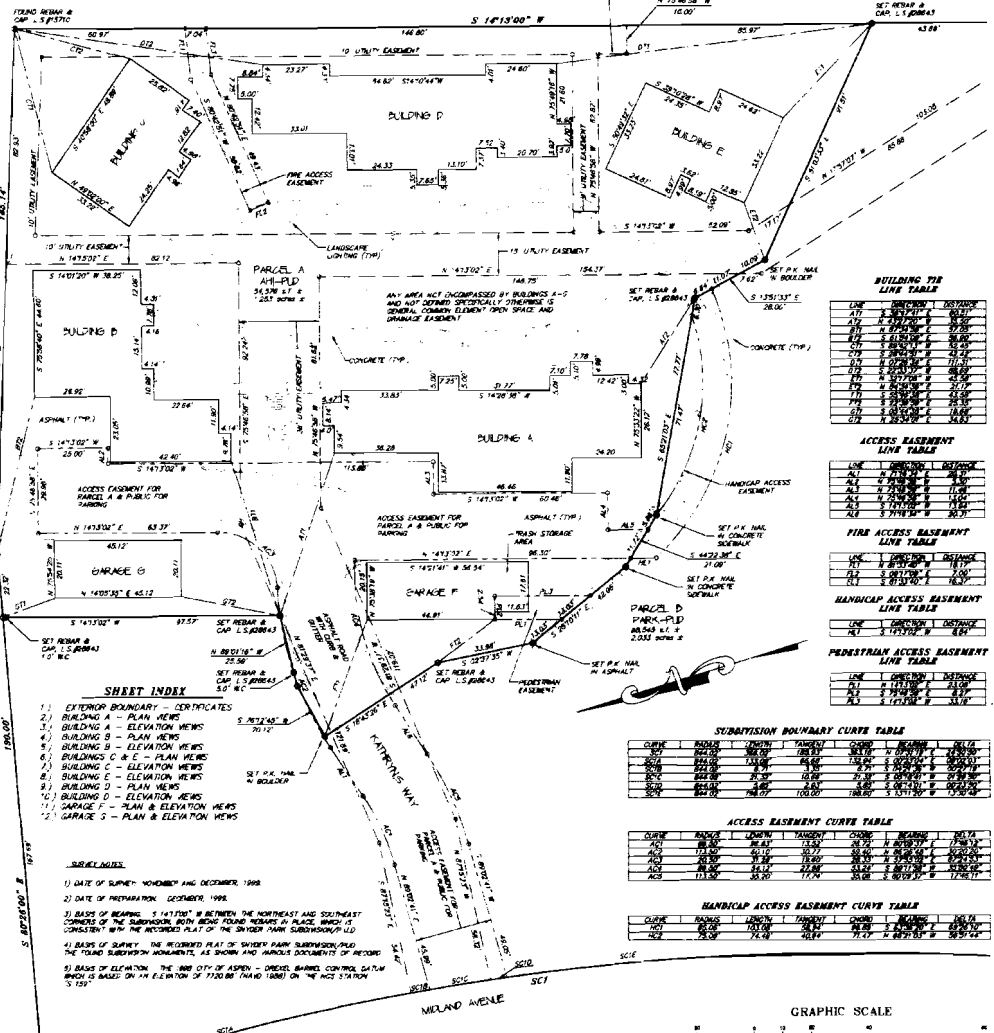
THIS CONDOMINIUM EXEMPTION PLAT OF SNYDER PARK CONDOMINIUMS WAS APPROVED BY THE CITY OF ASPEN DEPARTMENT OF COMMUNITY DEVELOPMENT THIS 21st DAY OF June, 2000.

COMMUNITY DEVELOPMENT DIRECTOR

### CITY ENGINEER'S APPROVAL

THIS CONDOMINIUM EXEMPTION PLAT OF SNYDER PARK CONDOMINIUMS AND THE VACATION AND RELIANCE OF THE PEDESTRIAN EASEMENT, SHOWN HEREON, WAS APPROVED BY THE CITY ENGINEER OF THE CITY OF ASPEN THIS 21st DAY OF June, 2000.

Mark S. Becker  
CITY ENGINEER



#### BUILDING TIP LINE TABLE

LINE	DESCRIPTION	LENGTH
1	Building A	10.00
2	Building B	10.00
3	Building C	10.00
4	Building D	10.00
5	Building E	10.00
6	Building F	10.00

#### ACCESS EASEMENT LINE TABLE

LINE	DESCRIPTION	LENGTH
1	Access Easement	10.00
2	Access Easement	10.00
3	Access Easement	10.00
4	Access Easement	10.00
5	Access Easement	10.00

#### FIRE ACCESS EASEMENT LINE TABLE

LINE	DESCRIPTION	LENGTH
1	Fire Access Easement	10.00
2	Fire Access Easement	10.00
3	Fire Access Easement	10.00
4	Fire Access Easement	10.00

#### HANDICAP ACCESS EASEMENT LINE TABLE

LINE	DESCRIPTION	LENGTH
1	Handicap Access Easement	10.00
2	Handicap Access Easement	10.00
3	Handicap Access Easement	10.00

#### PEDESTRIAN ACCESS EASEMENT LINE TABLE

LINE	DESCRIPTION	LENGTH
1	Pedestrian Access Easement	10.00
2	Pedestrian Access Easement	10.00
3	Pedestrian Access Easement	10.00

#### SUBDIVISION BOUNDARY CURVE TABLE

CURVE	RADIUS	CHORD	ANGLE	CHORD	BEARING	DELTA
1	10.00	10.00	90.00	10.00	S 00°00'00" E	90.00
2	10.00	10.00	90.00	10.00	S 00°00'00" E	90.00

#### ACCESS EASEMENT CURVE TABLE

CURVE	RADIUS	CHORD	ANGLE	CHORD	BEARING	DELTA
1	10.00	10.00	90.00	10.00	S 00°00'00" E	90.00
2	10.00	10.00	90.00	10.00	S 00°00'00" E	90.00

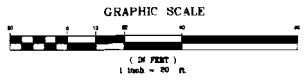
#### HANDICAP ACCESS CURVE TABLE

CURVE	RADIUS	CHORD	ANGLE	CHORD	BEARING	DELTA
1	10.00	10.00	90.00	10.00	S 00°00'00" E	90.00
2	10.00	10.00	90.00	10.00	S 00°00'00" E	90.00

- #### SHEET INDEX
- 1. EXTENDED BOUNDARY - CERTIFICATES
  - 2. BUILDING A - PLAN VIEWS
  - 3. BUILDING B - ELEVATION VIEWS
  - 4. BUILDING C - PLAN VIEWS
  - 5. BUILDING C - ELEVATION VIEWS
  - 6. BUILDINGS C & E - PLAN VIEWS
  - 7. BUILDING C - ELEVATION VIEWS
  - 8. BUILDING D - ELEVATION VIEWS
  - 9. BUILDING D - PLAN VIEWS
  - 10. BUILDING E - ELEVATION VIEWS
  - 11. GARAGE F - PLAN & ELEVATION VIEWS
  - 12. GARAGE S - PLAN & ELEVATION VIEWS

- #### SCHEDULE
- 1) DATE OF SURVEY: NOVEMBER AND DECEMBER, 1998
  - 2) DATE OF PREPARATION: DECEMBER, 1998
  - 3) BASIS OF BEARING: S 14°13'00" W BETWEEN THE NORTHEAST AND SOUTHWEST CORNERS OF THE SUBDIVISION, BOTH BEING FOUND REMAINS IN PLACE, WHICH IS CONSISTENT WITH THE RECORDED PLAT OF THE SNYDER PARK SUBDIVISION/P.U.D.
  - 4) BASIS OF SURVEY: THE RECORDED PLAT OF SNYDER PARK SUBDIVISION/P.U.D. THE TOWN SUBDIVISION MONUMENTS, AS SHOWN AND PARCEL DOCUMENTS OF RECORD.
  - 5) BASIS OF ELEVATION: THE 1988 CITY OF ASPEN - ORIENTED BENCHMARK CONTROL DATUM WHICH IS BASED ON AN ELEVATION OF 7720.86 (7440 1988) ON THE NCC STATION 3 127.

SOPRIS ENGINEERING - LLC  
CIVIL CONSULTANTS  
502 MAIN STREET SUITE A3  
CARBONDALE, COLORADO 81623  
(970) 704-0311



PLANNING  
1) THE SNYDER PARK CONDOMINIUMS ARE SUBJECT TO ALL MATTERS SHOWN ON THE FINAL PLAT OF SNYDER PARK SUBDIVISION/P.U.D. RECORDED NOVEMBER 19, 1998 IN PLAT BOOK 47 AT PAGE 78.  
2) THE PEDESTRIAN EASEMENT SHOWN ON PARCEL A, SNYDER PARK SUBDIVISION/P.U.D. IS VICINATED BY THIS PLAT AND RELIANCE AS SHOWN HEREON.  
3) THESE PORTIONS OF THE 10' DEED MAINTENANCE EASEMENT SHOWN ON PARCEL A, SNYDER PARK SUBDIVISION/P.U.D. ARE VICINATED BY THIS PLAT.  
4) AN ACCESS EASEMENT THROUGH UNITS 802, 803 & 804 BY THE MOST DIRECT ROUTE IS HEREBY ESTABLISHED BY THIS PLAT FOR THE PURPOSES OF ACCESSING EACH BUILDING'S COMMON AREAS SERVING FOR THE MAINTENANCE AND REPAIR OF SAID SERVICES. THIS ACCESS EASEMENT IS FOR THE BENEFIT OF THE ASSOCIATION, CONTROLLED BY THE HOME OWNERS ASSOCIATION TO THE MAINTENANCE AND REPAIR OF SAID SERVICES.

SUBDIVISION'S COORDINATE  
MARK S. BECKER, A REGISTERED LAND SURVEYOR, DOES HEREBY CERTIFY THAT HE HAS PREPARED THIS CONDOMINIUM EXEMPTION PLAT OF SNYDER PARK CONDOMINIUMS, THAT THE LOCATION AND DIMENSIONS OF THE AFFECTED PORTIONS OF EACH LOT AND THAT THE SURVEYING MARKERS, THE LOCATION WITH REFERENCE TO ESTABLISHED DATA, OF THE HORIZONTAL BOUNDARIES OF EACH UNIT, THE APPROPRIATE LOCATION AND DIMENSIONS OF LIMITED COMMON ELEMENTS, AND THE LOCATION OF OTHER FEATURES, ARE ACCURATELY AND CORRECTLY SHOWN HEREON. THAT THE SAME ARE BASED ON FIELD SURVEYS PERFORMED UNDER MY SUPERVISION AND NUMBERED AND DATED AS FOLLOWS: THAT THE CONDOMINIUM EXEMPTION PLAT MEETS THE REQUIREMENTS OF A LAND SURVEY PLAT AS SET FORTH IN C.R.S. SECTION 38-101 AND THAT THE CONDOMINIUM EXEMPTION PLAT CONTAINS ALL OF THE INFORMATION REQUIRED BY C.R.S. SECTION 38-101 OF THE COLORADO COMMON INTEREST OWNERSHIP ACT. THAT THE CONDOMINIUM EXEMPTION PLAT IS IN FULL COMPLIANCE WITH THE REQUIREMENTS OF C.R.S. SECTION 38-101 AND THAT THE SAME AS SHOWN SET FORTH IN SAID SNYDER PARK SUBDIVISION/P.U.D. COORDINATE FOR THE REASONING SET FORTH.

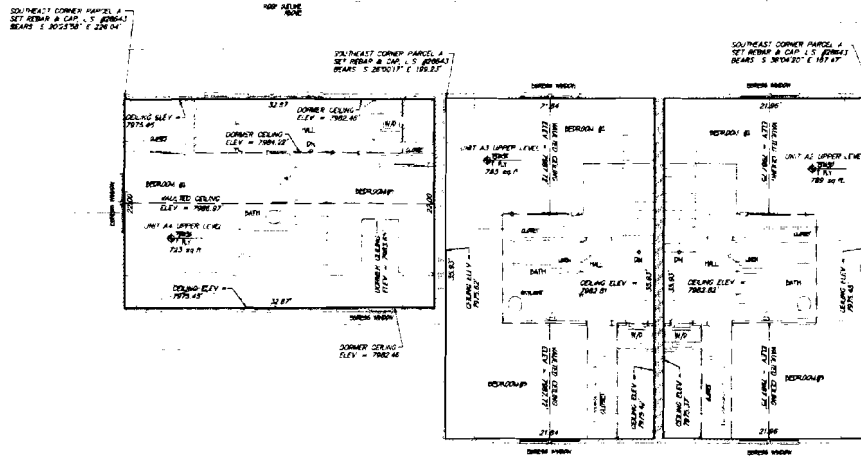
DATED: June 21, 2000  
BY: Mark S. Becker  
MARK S. BECKER, P.L.S. (00044)  
CLERK AND RECORDERS' ACCEPTANCE  
THIS CONDOMINIUM EXEMPTION PLAT OF SNYDER PARK CONDOMINIUMS IS ACCEPTED FOR FILING IN THE OFFICE OF THE CLERK AND RECORDER OF PITKIN COUNTY, COLORADO AT 10:00 AM ON June 21, 2000 AT 10:00 AM IN THE OFFICE OF THE CLERK AND RECORDER OF PITKIN COUNTY, COLORADO.

B.52 P.30

CONDOMINIUM EXEMPTION PLAT OF  
**SNYDER PARK CONDOMINIUMS**

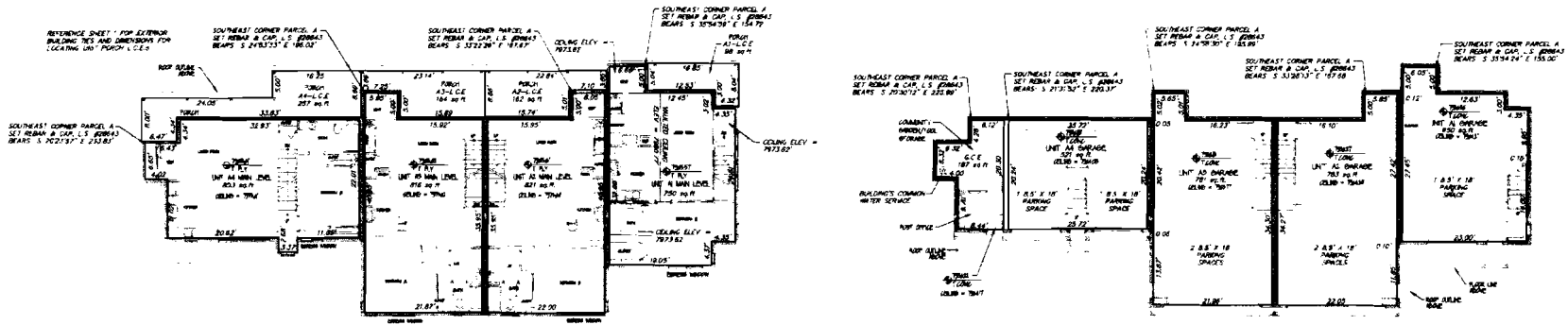
PARCEL A, SNYDER PARK SUBDIVISION/P.U.D. SITUATED IN A PORTION OF SECTION 18, TOWNSHIP 10 SOUTH, RANGE 84 WEST OF THE 6th P.M.  
 CITY OF ASPEN, COUNTY OF PITKIN, STATE OF COLORADO

SHEET 2 OF 12



UPPER LEVEL PLAN BUILDING A

SCALE 1" = 6'



MAIN LEVEL PLAN BUILDING A

SCALE 1" = 6'

GARAGE LEVEL PLAN BUILDING A

SCALE 1" = 6'

SOPRIS ENGINEERING - LLC

CIVIL CONSULTANTS  
 502 MAIN STREET, SUITE 43  
 CARBONDALE, COLORADO 81623  
 (970) 704-0311

SHEET 2 OF 12

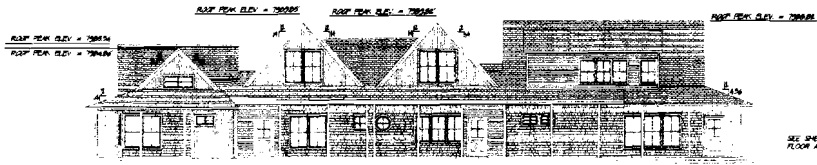
NOTICE: ACCORDING TO COLORADO AND FEDERAL STATUTES, ANY STATE OR FEDERAL GOVERNMENT AGENCY OR INDIVIDUAL WHOSE INTERESTS ARE AFFECTED BY THIS PLAT HAS THE RIGHT TO OBJECT TO THIS PLAT AND TO REQUEST A HEARING. ANY SUCH OBJECTOR MUST FILE A WRITTEN OBJECTION WITH THE COUNTY CLERK OF PITKIN COUNTY, COLORADO, WITHIN THE TIME FRAME AND IN THE MANNER SPECIFIED IN THE STATUTES. THE CLERK'S OFFICE IS LOCATED AT 1000 WEST ASPEN AVENUE, ASPEN, COLORADO 81611.

B.52 P.31

CONDOMINIUM EXEMPTION PLAT OF  
**SNYDER PARK CONDOMINIUMS**

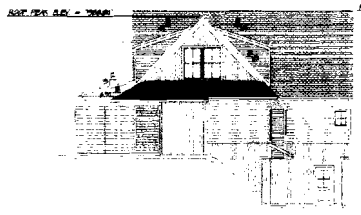
PARCEL A, SNYDER PARK SUBDIVISION/P.U.D. SITUATED IN A PORTION OF SECTION 18, TOWNSHIP 10 SOUTH, RANGE 84 WEST OF THE 6th P.M.  
CITY OF ASPEN, COUNTY OF PITKIN, STATE OF COLORADO

SHEET 3 OF 12



EAST ELEVATION BUILDING A  
HORIZONTAL & VERTICAL SCALE 1" = 8'

SEE SHEET 2 FOR INDIVIDUAL UNIT  
FLOOR AND CEILING ELEVATIONS

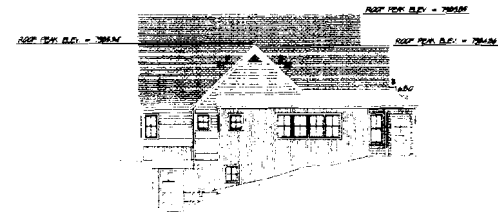


NORTH ELEVATION BUILDING A  
HORIZONTAL & VERTICAL SCALE 1" = 8'

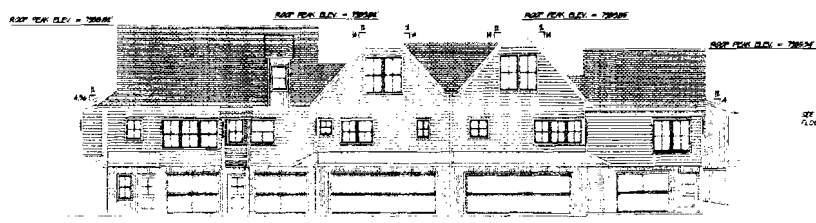


ROOF PLAN BUILDING A  
SCALE 1" = 8'

PLAN & ELEVATION VIEWS ARE FROM  
ARCHITECTURAL SUBMITTAL DRAWINGS  
UPDATED WITH SET-BACK DIMENSIONS  
AND ELEVATION INFORMATION



SOUTH ELEVATION BUILDING A  
HORIZONTAL & VERTICAL SCALE 1" = 8'



WEST ELEVATION BUILDING A  
HORIZONTAL & VERTICAL SCALE 1" = 8'

SEE SHEET 2 FOR INDIVIDUAL UNIT  
FLOOR AND CEILING ELEVATIONS

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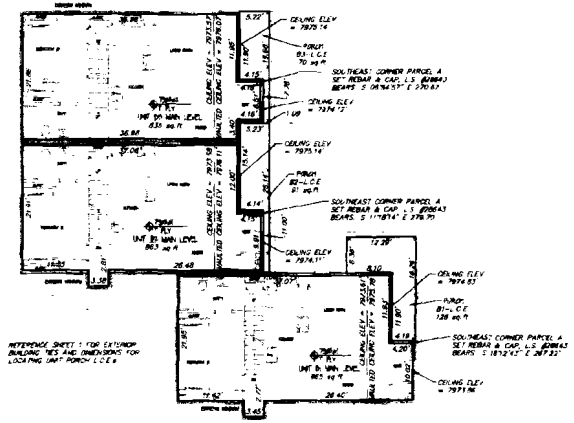
NOTICE: CONDOMINIUMS TO COLORADO LAW FOR UNIT OWNERS AND LEASERS  
PLEASE REVIEW THIS PLAN CAREFULLY TO THE EXTENT OF YOUR KNOWLEDGE  
BEFORE YOU PURCHASE OR LEASE ANY UNIT. YOU MAY WANT TO CONSULT  
WITH AN ATTORNEY TO OBTAIN A FULL UNDERSTANDING OF YOUR RIGHTS  
BEFORE YOU SIGN ANY DOCUMENTS THAT RELATE TO THIS PROJECT.

B.52 P.32

# CONDOMINIUM EXEMPTION PLAT OF SNYDER PARK CONDOMINIUMS

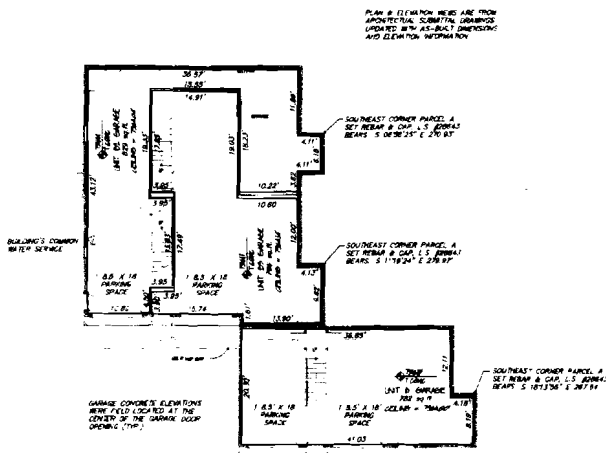
PARCEL A, SNYDER PARK SUBDIVISION, P.U.D. SITUATED IN A PORTION OF SECTION 18, TOWNSHIP 10 SOUTH, RANGE 84 WEST OF THE 6th P.M.  
CITY OF ASPEN, COUNTY OF PITKIN, STATE OF COLORADO

SHEET 4 OF 12

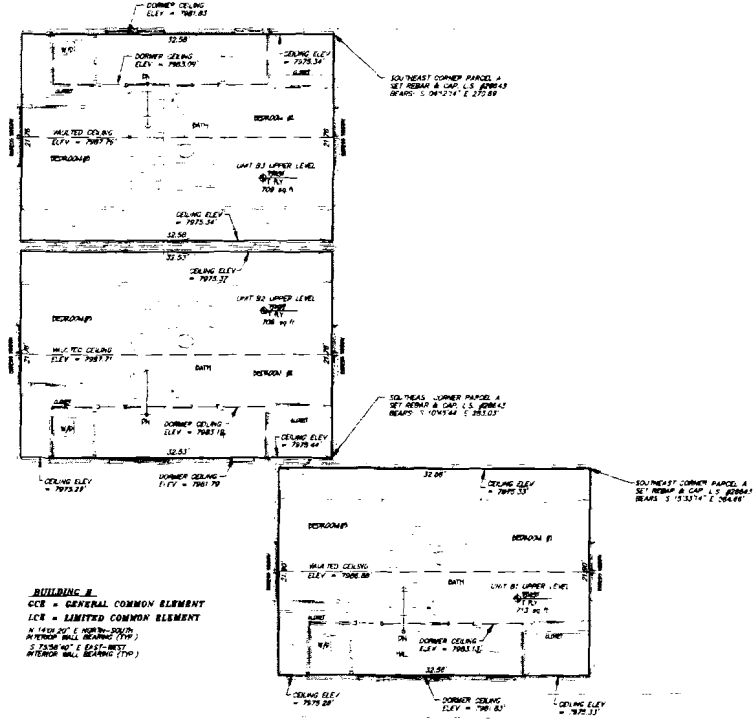


REFER TO SHEET 1 FOR EXTERIOR BUILDING SET-BACKS AND DIMENSIONS FOR LOCATING UNIT PARCHES, ETC.

MAIN LEVEL PLAN BUILDING D  
SCALE 1" = 4'



GARAGE LEVEL PLAN BUILDING D  
SCALE 1" = 4'



**BUILDING B**  
CCE = GENERAL COMMON ELEMENT  
LCE = LIMITED COMMON ELEMENT  
N = NORTH, S = SOUTH, E = EAST, W = WEST  
INTERIOR WALL BEARING (TYP.)

UPPER LEVEL PLAN BUILDING B  
SCALE 1" = 4'

SOPRIS ENGINEERING - LLC  
CIVIL CONSULTANTS  
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CARBONDALE, COLORADO 81623  
(870) 704-0311

SHEET 4 OF 12

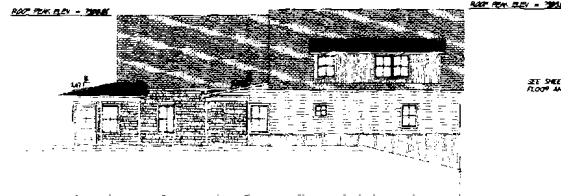
NOTICE: THESE PLANS AND SPECIFICATIONS ARE PREPARED BY THE ENGINEER AND ARCHITECT FOR THE PURPOSE OF OBTAINING PERMITS AND RECORDS FROM THE LOCAL GOVERNMENT. THEY ARE NOT TO BE USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF THE ENGINEER AND ARCHITECT. THE ENGINEER AND ARCHITECT ASSUME NO LIABILITY FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY RESULTING FROM THE USE OF THESE PLANS AND SPECIFICATIONS.

B.52 P33

# CONDOMINIUM EXEMPTION PLAT OF SNYDER PARK CONDOMINIUMS

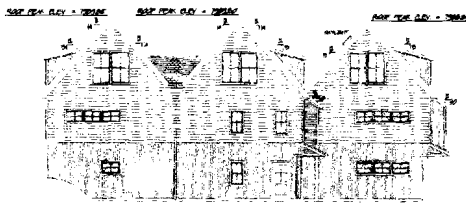
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CITY OF ASPEN, COUNTY OF PITKIN, STATE OF COLORADO

SHEET 5 OF 12

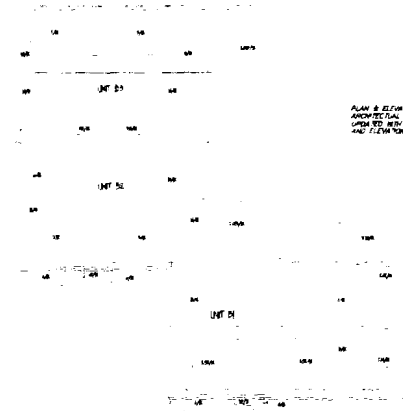


EAST ELEVATION BUILDING B  
HORIZONTAL & VERTICAL SCALE 1" = 10'

SEE SHEET 4 FOR INDIVIDUAL UNIT FLOOR AND CEILING ELEVATIONS

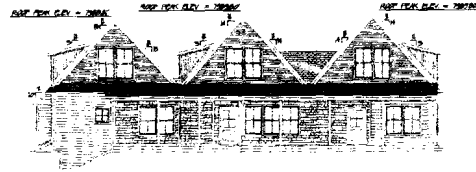


NORTH ELEVATION BUILDING B  
HORIZONTAL & VERTICAL SCALE 1" = 10'



ROOF PLAN BUILDING B  
SCALE 1" = 10'

PLAN & ELEVATION VIEWS ARE FROM ARCHITECTURAL SUBMITTAL DRAWINGS UNDER THE NEW AS-BUILT CONVENTIONS AND ELEVATION INFORMATION



SOUTH ELEVATION BUILDING B  
HORIZONTAL & VERTICAL SCALE 1" = 10'



WEST ELEVATION BUILDING B  
HORIZONTAL & VERTICAL SCALE 1" = 10'

SEE SHEET 4 FOR INDIVIDUAL UNIT FLOOR AND CEILING ELEVATIONS

SOPRIS ENGINEERING - LLC  
CIVIL CONSULTANTS  
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CARBONDALE, COLORADO 81623  
(970) 704-0311

NOTICE: ARCHITECTS IN COLORADO ARE NOT PERMITTED TO SEAL ARCHITECTURAL DRAWINGS UNLESS THEY ARE REGISTERED ARCHITECTS IN THE STATE OF COLORADO. THIS DRAWING IS THE PROPERTY OF SOPRIS ENGINEERING - LLC AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

DRAWING NUMBER

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B.52

P.33

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CONDOMINIUM EXEMPTION PLAT OF  
**SNYDER PARK CONDOMINIUMS**

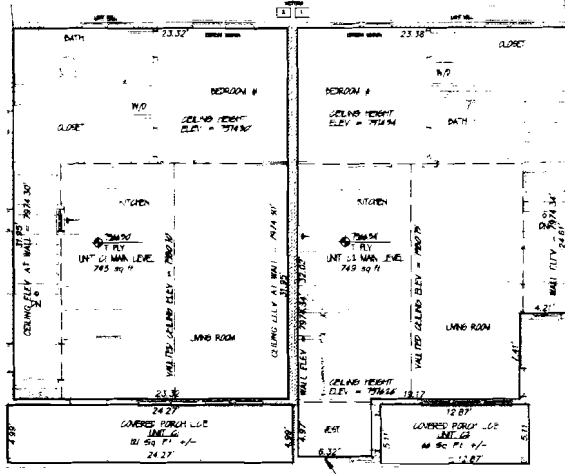
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SHEET 6 OF 12

SOUTHEAST CORNER PARCEL A  
 SET REBAR & CAP, I.S. #208643  
 BEARS S 34°21'3" W 281.37'

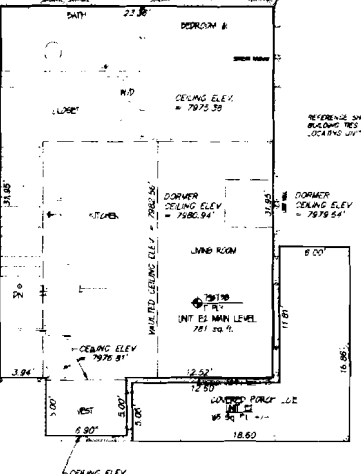
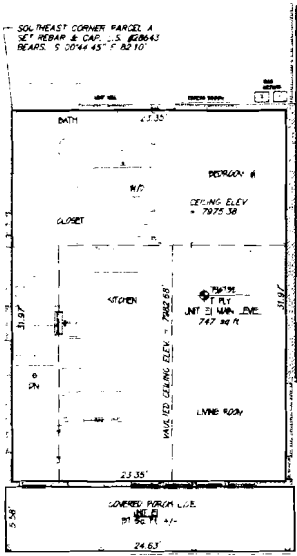
SOUTHEAST CORNER PARCEL A  
 SET REBAR & CAP, I.S. #208643  
 BEARS S 11°42'51" W 259.84'

SOUTHEAST CORNER PARCEL A  
 SET REBAR & CAP, I.S. #208642  
 BEARS S 31°53'40" E 46.21'



**BUILDING C**  
 GCE = GENERAL COMMON ELEMENT  
 LCE = LIMITED COMMON ELEMENT

MAIN LEVEL PLAN BUILDING C  
 SCALE 1/4" = 1'-0"

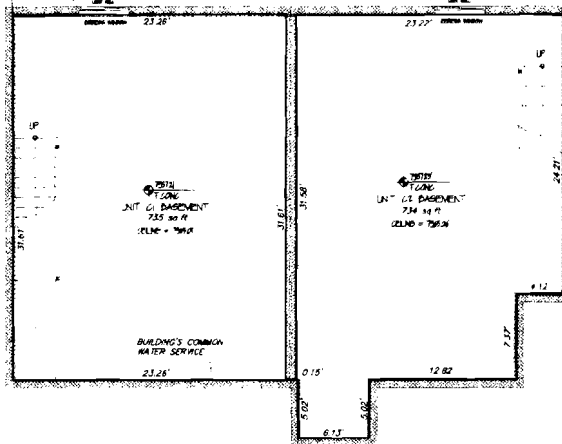


MAIN LEVEL PLAN BUILDING E  
 SCALE 1/4" = 1'-0"

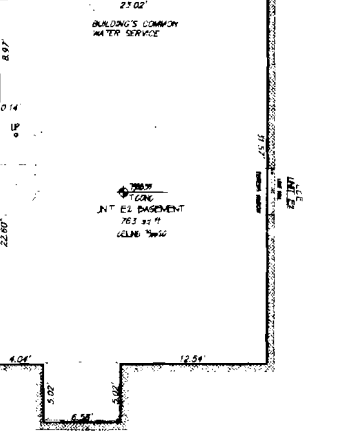
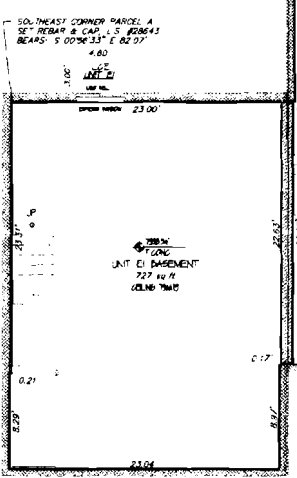
SOUTHEAST CORNER PARCEL A  
 SET REBAR & CAP, I.S. #208643  
 BEARS S 04°12'2" W 251.00'

SOUTHEAST CORNER PARCEL A  
 SET REBAR & CAP, I.S. #208643  
 BEARS S 11°39'08" W 258.80'

SOUTHEAST CORNER PARCEL A  
 SET REBAR & CAP, I.S. #208642  
 BEARS S 31°46'28" E 46.41'



BASEMENT LEVEL PLAN BUILDING C  
 SCALE 1/4" = 1'-0"



BASEMENT LEVEL PLAN BUILDING E  
 SCALE 1/4" = 1'-0"

PLAN & ELEVATION VIEWS ARE FROM ARCHITECTURAL, SLOTTED, DRAUGHTS, UPDATED WITH AS-BUILT DIMENSIONS AND ELEVATION INFORMATION.

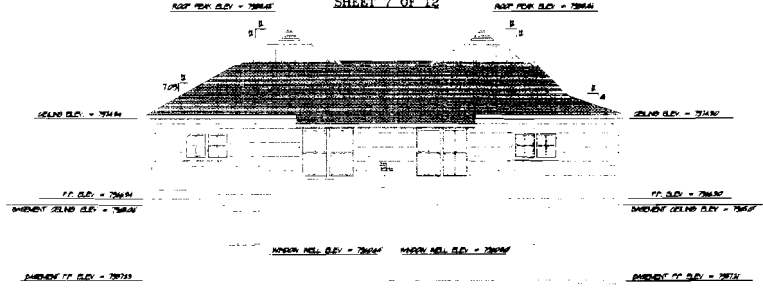
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 (970) 704-0311

0.52 0.35

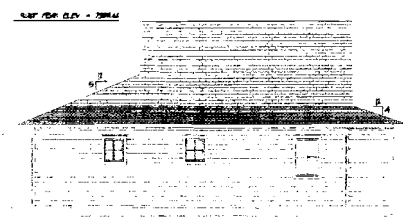
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CITY OF ASPEN, COUNTY OF PITKIN, STATE OF COLORADO

SHEET 7 OF 12

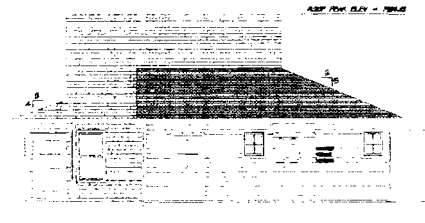


NORTH EAST ELEVATION BUILDING C  
HORIZONTAL AND VERTICAL SCALE 1/4" = 1'-0"



NORTH WEST ELEVATION BUILDING C  
HORIZONTAL AND VERTICAL SCALE 1/4" = 1'-0"

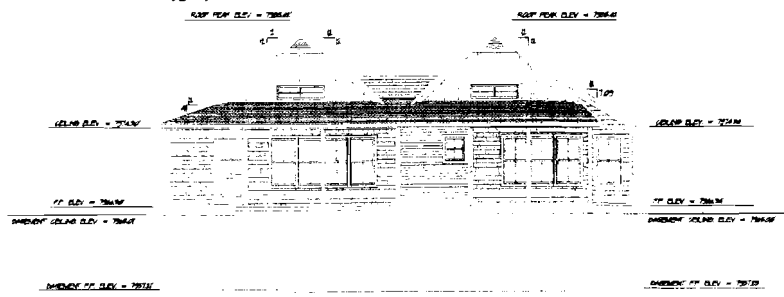
SEE SHEET 6 FOR INDIVIDUAL UNIT FLOOR AND CEILING ELEVATIONS



SOUTH EAST ELEVATION BUILDING C  
HORIZONTAL AND VERTICAL SCALE 1/4" = 1'-0"

SEE SHEET 6 FOR INDIVIDUAL UNIT FLOOR AND CEILING ELEVATIONS  
PLAN & ELEVATION JERBS ARE FROM ARCHITECTURAL SUBMITTAL DRAWINGS PROVIDED WITH A.S.-BUILT DIMENSIONS AND ELEVATION INFORMATION

ROOF PLAN BUILDING C  
SCALE 1/8" = 1'-0"



SOUTH WEST ELEVATION BUILDING C  
HORIZONTAL AND VERTICAL SCALE 1/4" = 1'-0"

SOPRIS ENGINEERING - LLC  
CIVIL CONSULTANTS  
502 MAIN STREET, SUITE A3  
CARBONDALE, COLORADO 81623  
(970) 704-0311

SHEET 7 OF 12  
NO. 2008-03-03

NOTES: ACCORDING TO COLORADO LAW, THE ARCHITECT'S SEAL AND SIGNATURE ARE REQUIRED ON ALL ARCHITECTURAL DRAWINGS. THE ARCHITECT'S SEAL AND SIGNATURE ARE REQUIRED ON ALL ARCHITECTURAL DRAWINGS. THE ARCHITECT'S SEAL AND SIGNATURE ARE REQUIRED ON ALL ARCHITECTURAL DRAWINGS.

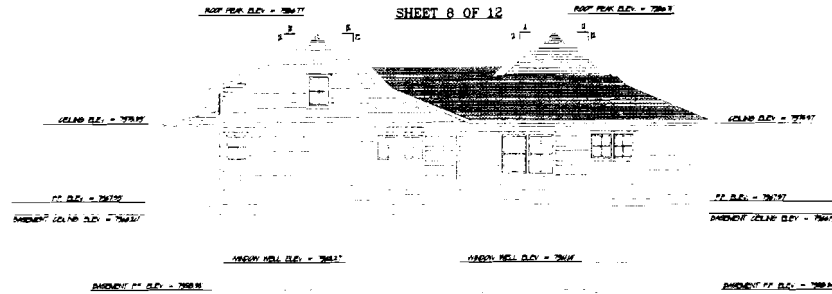
VERTICAL SCALE 1/8" = 1'-0"  
HORIZONTAL SCALE 1/4" = 1'-0"  
NO. 2008-03-03

B.52 P.36

# CONDOMINIUM EXEMPTION PLAT OF SNYDER PARK CONDOMINIUMS

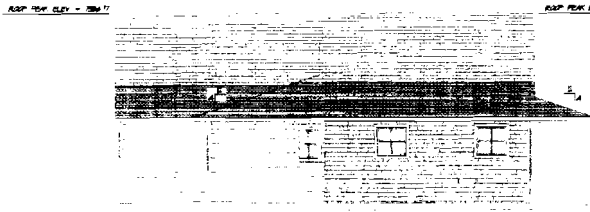
PARCEL A SNYDER PARK SUBDIVISION, P.U.D. SITUATED IN A PORTION OF SECTION 18, TOWNSHIP 10 SOUTH, RANGE 84 WEST OF THE 6th P.M.  
CITY OF ASPEN, COUNTY OF PITKIN, STATE OF COLORADO

SHEET 8 OF 12



SOUTHEAST ELEVATION BUILDING E

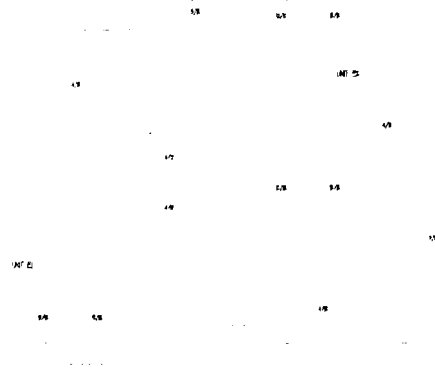
HORIZONTAL AND VERTICAL SCALE 1" = 4'



NORTHEAST ELEVATION BUILDING E

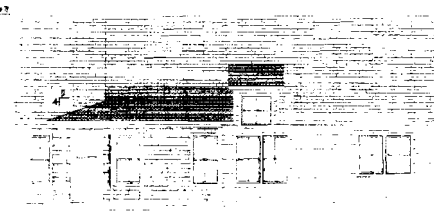
HORIZONTAL AND VERTICAL SCALE 1" = 4'

SEE SHEET 8 FOR INDIVIDUAL UNIT FLOOR AND CEILING ELEVATIONS



ROOF PLAN BUILDING E

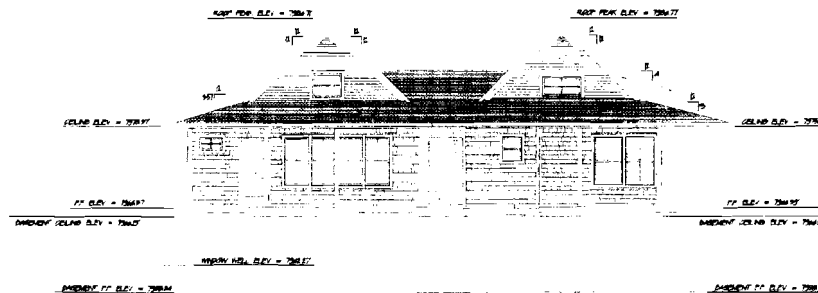
SCALE 1" = 4'



SOUTHWEST ELEVATION BUILDING E

HORIZONTAL AND VERTICAL SCALE 1" = 4'

SEE SHEET 8 FOR INDIVIDUAL UNIT FLOOR AND CEILING ELEVATIONS  
PLAN & ELEVATION METERS ARE FROM ARCHITECTURAL SURVEILLANCE DRAWINGS UPDATED WITH AS-BUILT DIMENSIONS AND ELEVATION INFORMATION



NORTHWEST ELEVATION BUILDING E

HORIZONTAL AND VERTICAL SCALE 1" = 4'

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CARBONDALE, COLORADO 81623  
(970) 704-0311

SHEET 8 OF 12

NOT BE ASSUMED TO CONFORM TO ANY CODE, SPECIFICATION OR STANDARD UNLESS SPECIFICALLY NOTED OTHERWISE ON THESE PLANS.  
THESE PLANS HAVE BEEN PREPARED BY THE ARCHITECT AND THE ENGINEER HAS REVIEWED THEM FOR TECHNICAL CORRECTNESS.  
THESE PLANS ARE THE PROPERTY OF SOPRIS ENGINEERING, LLC AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF SOPRIS ENGINEERING, LLC.





B.52 R35

CONDOMINIUM EXEMPTION PLAT OF  
**SNYDER PARK CONDOMINIUMS**

PARCEL A, SNYDER PARK SUBDIVISION/P.U.D. SITUATED IN A PORTION OF SECTION 18, TOWNSHIP 10 SOUTH, RANGE 84 WEST OF THE 6th P.M.  
CITY OF ASPEN, COUNTY OF PITKIN, STATE OF COLORADO

SHEET 10 OF 12



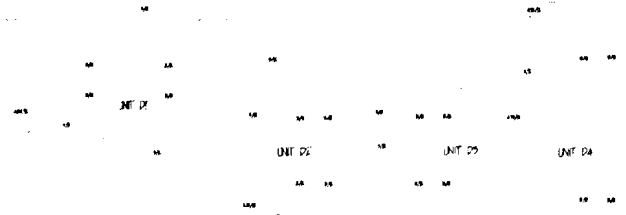
EAST ELEVATION BUILDING D  
HORIZONTAL AND VERTICAL SCALE 1" = 10'

SEE SHEET 9 FOR INDIVIDUAL UNIT  
FLOOR AND CEILING ELEVATIONS



NORTH ELEVATION BUILDING D  
HORIZONTAL AND VERTICAL SCALE 1" = 10'

PLAN & ELEVATION VIEWS ARE FROM  
ARCHITECTURAL SCENARIOS CONSIDERED  
PRINTED WITH AS-BUILT DIMENSIONS  
AND ELEVATION INFORMATION.



ROOF PLAN BUILDING D  
SCALE 1" = 10'



SOUTH ELEVATION BUILDING D  
HORIZONTAL AND VERTICAL SCALE 1" = 10'



WEST ELEVATION BUILDING D  
HORIZONTAL AND VERTICAL SCALE 1" = 10'

SEE SHEET 9 FOR INDIVIDUAL UNIT  
FLOOR AND CEILING ELEVATIONS

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CARBONDALE, COLORADO 81623  
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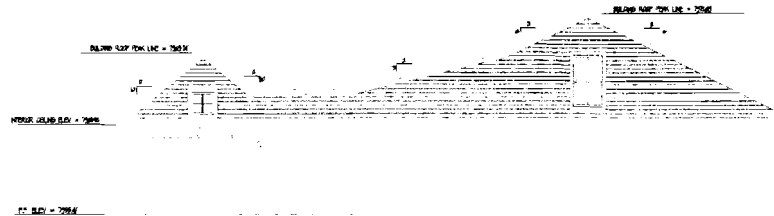
NOTES: ACCORDING TO COLORADO LAW, ALL PLANS AND SPECIFICATIONS SHALL BE  
FOR THE INFORMATION OF THE ARCHITECT AND SHALL NOT BE USED FOR  
CONSTRUCTION WITHOUT THE ARCHITECT'S WRITTEN CONSENT. THE ARCHITECT'S  
RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT  
AND DOES NOT EXTEND TO THE DESIGN OR CONSTRUCTION OF ANY OTHER  
PROJECTS OR TO THE DESIGN OR CONSTRUCTION OF ANY OTHER PROJECTS.

B.52 P.39

# CONDOMINIUM EXEMPTION PLAT OF SNYDER PARK CONDOMINIUMS

PARCEL A, SNYDER PARK SUBDIVISION/P.U.D. SITUATED IN A PORTION OF SECTION 18, TOWNSHIP 10 SOUTH, RANGE 84 WEST OF THE 6th P.M.  
CITY OF ASPEN, COUNTY OF PITKIN, STATE OF COLORADO

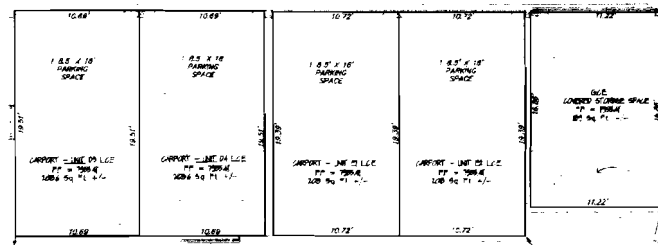
SHEET 11 OF 12



EAST ELEVATION GARAGE F

SCALE 1" = 5'

GARAGE CONCRETE ELEVATIONS  
WERE FIELD LOCATED AT THE  
CENTER OF THE GARAGE DOOR  
OPENING (TYP.)

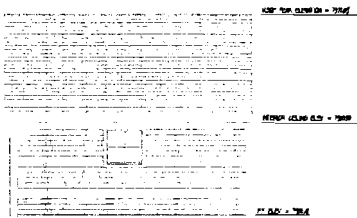


MAIN LEVEL & ROOF PLAN GARAGE F

SCALE 1" = 5'

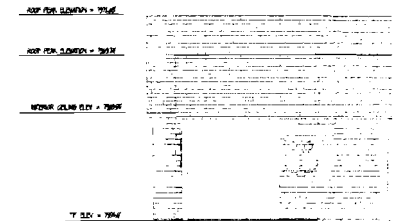
PLAN & ELEVATION MEAS ARE FROM  
APPROXIMATE SUBMITTAL CORNERS  
CHECKED WITH ALL BEARING DIMENSIONS  
AND PLUMB/TOP INFORMATION

**GARAGE F**  
GCE = GENERAL COMMON ELEMENT  
LEE = LIMITED COMMON ELEMENT  
N 142°24' E 100'-0" SOUTH  
N 12°00' E 100'-0" WALL BEARING TYP.  
S 12°00' E 100'-0" EAST-WEST  
INTERIOR WALL BEARING TYP.



NORTH ELEVATION GARAGE F

SCALE 1" = 5'



SOUTH ELEVATION GARAGE F

SCALE 1" = 5'



WEST ELEVATION GARAGE F

SCALE 1" = 5'

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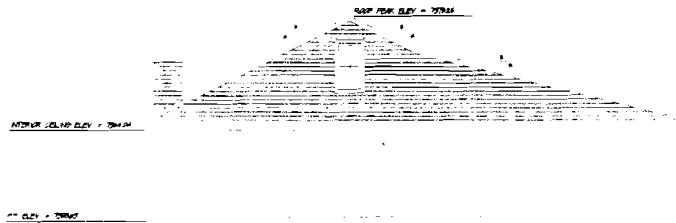
NOTICE: ACCORDING TO COLORADO ACT 10, ANY CHANGES MUST BE  
APPROVED BY THE BOARD OF DIRECTORS AND THE CITY OF ASPEN. ANY  
CHANGES TO THIS PLAN MUST BE APPROVED BY THE BOARD OF  
DIRECTORS AND THE CITY OF ASPEN. ANY CHANGES TO THIS PLAN  
MUST BE APPROVED BY THE BOARD OF DIRECTORS AND THE CITY OF  
ASPEN. ANY CHANGES TO THIS PLAN MUST BE APPROVED BY THE  
BOARD OF DIRECTORS AND THE CITY OF ASPEN.

B.52 P.40

CONDOMINIUM EXEMPTION PLAT OF  
**SNYDER PARK CONDOMINIUMS**

PARCEL A, SNYDER PARK SUBDIVISION, P.U.D. SITUATED IN A PORTION OF SECTION 18, TOWNSHIP 10 SOUTH, RANGE 84 WEST OF THE 6th P.M.  
 CITY OF ASPEN, COUNTY OF PITKIN, STATE OF COLORADO

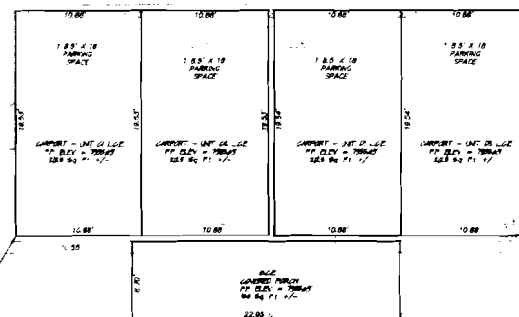
SHEET 12 OF 12



EAST ELEVATION GARAGE 5

SCALE 1/4" = 1'-0"

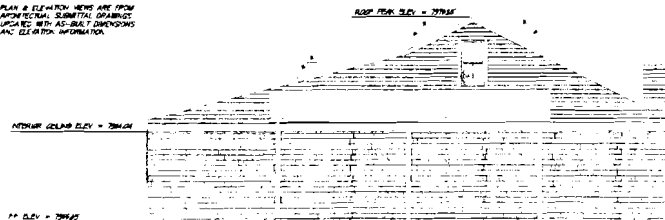
GARAGE CONCRETE ELEVATION  
 HERE FIELD LOCATED AT THE  
 CENTER OF THE GARAGE DOOR  
 OPENING (TYP)



FLOOR PLAN GARAGE BUILDING 5

SCALE 1/4" = 1'-0"

PLAN & ELEVATION VIEWS ARE FROM  
 ARCHITECTURAL SUBMITTAL DRAWINGS  
 UPGRADE WITH AS-BUILT DIMENSIONS  
 AND ELEVATION INFORMATION



WEST ELEVATION GARAGE 5

SCALE 1/4" = 1'-0"

SOUTH ELEVATION GARAGE 5

SCALE 1/4" = 1'-0"

-GARAGE 5-  
 GCE = GENERAL COMMON ELEMENT  
 LCE = LIMITED COMMON ELEMENT  
 UNLESS NOTED OTHERWISE,  
 WITHIN WALL BEARING (TYP)  
 3/2" DIA. 1" EAST WEST  
 WITHIN WALL BEARING (TYP)

**SOPRIS ENGINEERING - LLC**

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 CARRONDALE, COLORADO 81623  
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NOTES: ACCORDING TO RECORDS, ALL THE NEAREST SURVEYING AND  
 ADJACENT PARCELS ARE SET TO THE RIGHT FOR THE PURPOSES OF  
 THIS PLAT. THE RECORDS SHOW THAT THE PLAT IS A CORRECT  
 REPRESENTATION OF THE AS-BUILT CONDITIONS. THE PLAT IS  
 BASED ON THE SET OF RECORDS SUBMITTED.